

Planning Report & Aggregate Resources Act Summary Statement

R.W. Tomlinson Storyland Pit

Part Lot 20, Concession 6
Township of Horton, County of Renfrew

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EXECUTIVE SUMMARY

R.W. Tomlinson Ltd. (Herein referred to as 'Tomlinson') is applying for a Class "A" Licence for a pit below the water table. In addition to the Class "A" Licence under the Aggregate Resources Act, Tomlinson is applying for an Official Plan Amendment and Zoning By-law Amendment under the Planning Act in order to permit the pit.

The location of the proposed pit is legally described as Part of Lot 20, Concession 6, Horton Township in the County of Renfrew. The pit is located at the intersection of Storyland Road (County Road 4) and Eady Road. Highway 17 is located approximately 2 km west of the site.

The proposed Storyland Pit is surrounded by a predominately rural landscape within the Township of Horton. There is a combination of rural-residential houses adjacent to the proposed pit as well as licensed pits and rural industrial uses.

The area which is proposed to be licenced under the Aggregate Resources Act (ARA) is 69.5 ha (172 ac) with a proposed extraction area of 55.9 ha (138 ac). The proposed maximum annual tonnage is 1 million tonnes. The proposed operation will extract sand and gravel resources above and water below the water table and will occur in a phased manner (5 phases).

The proposed Storyland Pit requires a combination of technical studies and reports for the submission of the Aggregate Resources Act Licence and Planning Act applications. Potential adverse impacts have been assessed through the completion of a Natural Environment Report and Environmental Impact Study, Water Report (Hydrogeological Level 1 and 2 Report), Maximum Predicted Water Table Report, Noise Impact Assessment, Archaeological Assessment and Traffic Impact Assessment. ARA site plans for the proposed Pit have also been submitted as part of the applications.

The Official Plan Amendment and Zoning By-Law Amendment are consistent with the Provincial Policy Statement (2020) and conform to County of Renfrew Official Plan based on the following:

- The proposed extraction area contains approximately 17 million tonnes of high quality aggregate resources which are identified and protected in provincial and municipal planning documents.
- There are no anticipated impacts to the quality or quantity of groundwater or surface water, its features or functions.
- There will be no negative impacts on significant natural features located adjacent to the proposed extraction area.
- The proposed pit will include acoustic and visual berms to minimize visual and noise impacts on surrounding uses.
- A Traffic Impact Study was completed and concluded that the surrounding road network could properly function and would not be negatively impacted by the Proposed Storyland Pit.
- The operational design of the proposed pit has been supported by technical reports addressing natural environment, water resources, noise, traffic and archaeology. Operational controls and

mitigation have been incorporated into the ARA Site Plans. The site plans will regulate the operation to ensure that impacts from the operation satisfy provincial standards, regulations and guidelines.

The Aggregate Resources Act Licence application for the proposed Storyland Pit has been prepared to meet all the Provincial Standard requirements for a Class "A", pit below the water table. Additionally, this proposal has provided relevant information regarding Section 12 of the ARA.

The Planning Act applications have been prepared in accordance with County of Renfrew and Township of Horton requirements.

1.0 PROPOSAL

1.1 R.W. Tomlinson

Tomlinson is a well-established construction company which specializes in the production of aggregate resources (as well as asphalt, concrete, and other high-demand construction materials). Tomlinson also provides environmental services and road-building contracting for clients. Currently, the company is based out of Ottawa with over 1,500 employees (mostly full-time). Tomlinson remains a family owned and operated company since its founding in 1952 by Ralph Tomlinson.

1.2 Land Holdings and Project Description

Tomlinson owns approximately 69.5 hectares (172 acres) of land legally described as Part of Lot 20, Concession 6, in the geographic Township of Horton, County of Renfrew (Subject Lands) – **Figure 1**.

The subject lands are comprised of four properties – 432 Storyland Road and three municipally unaddressed properties. The lands have frontage on Storyland Road (County Road 4) and Eady Road.

The subject lands are located in a predominantly rural area, approximately 2 km to the east of Highway 17 (Trans-Canada Highway) and approximately 9 km from the Town of Renfrew. The majority of the lands are currently used for agricultural production (soybeans), with some remaining portions covered by woodlots (approximately 15 ha in size). An unevaluated wetland and watercourse is located in the northwest corner of the subject lands which is not proposed to be extracted (not disturbed). There are no structures or buildings located on the subject lands.

Tomlinson is applying for a Class 'A' License under the Aggregate Resources Act to permit a pit operation below the water table. The proposed annual tonnage limit for the site is 1 million tonnes, and the site will be accessed via Storyland Road across from Chapeski Lane. There will be no truck entrances onto Eady Road. The proposed haul route is predominantly Storyland Road west to Highway 17. Limited truck traffic may head east on Storyland Road for local deliveries.

The site is proposed to be extracted in 5 phases, starting in the central portion of the property and working east, then west. Materials will be extracted above the water table using loaders and excavators. Below the water table, aggregate will be extracted using excavators with a large boom, dragline or a cutter section dredge. Material will be processed onsite, and then shipped to market via Storyland Road. Recycled aggregate materials will also be processed on site.

Onsite wooded areas will be retained as long as possible and only removed prior to specific phases. Removal of wooded areas will follow the recommendations as described in the Natural Environment Report.

There are approximately 17 million tonnes of high quality sand and gravel resources available within the proposed extraction area. These resources are identified and protected in the County's Official Plan, Township Zoning By-law as well as Provincial geological mapping.

The pit is proposed to operate on a 24-hour basis with limitations on what equipment can operate on site between the hours of 7 pm to 7 am.

Visual and acoustic berms will be located around the perimeter of the pit with existing vegetation retained within the setbacks where feasible. The pit will be extracted to a maximum depth of 149 to 152 masl.

The proposed pit will be rehabilitated to a lake approximately 48 ha in size. The side slopes above the water will be backfilled to 3:1 and below water slopes will be a minimum of 2:1 or the natural angle of repose. A shallow shoreline area will surround the perimeter of the lake. Approximately 1.1 ha of new wetlands will be created along the southern licensed boundary. Approximately 3.2 ha of reforestation will be provided within setbacks and peninsulas along the Storyland Road frontage.

Once extraction is complete, all pit equipment and structures will be removed and final rehabilitation will occur for the entire site.

The ARA Site Plans include additional details regarding the operations, phasing, and progressive and final rehabilitation for the pit.

1.3 Required Applications

The following applications are required to permit the proposed Storyland Pit:

- An amendment to the County of Renfrew Official Plan to redesignate the Lands from Rural to Mineral Aggregate (approximately 41.4 ha of the lands are already designated Mineral Aggregate)
- An amendment to the Township of Horton Zoning By-law to rezone the Extractive Industrial Reserve (EMR) and Rural (RU & RU-E9) Zones to Extractive Industrial (EX) Zone.
- Class 'A' Licence under the Aggregate Resources Act.

This application is considered Class A Licence under the Aggregate Resources of Ontario Provincial Standards. The Technical Reports required for the licence and planning applications have been prepared and are listed in the table below:

Report	Author	Date
Planning Report & Aggregate Resources Act Summary Statement Report	MHBC Planning	November 2022
Water Report (Level 1 and 2)	WSP/Golder Associates Ltd.	November 2022
Maximum Predicted Water Table Report	WSP/Golder Associates Ltd.	November 10, 2022
Natural Environment Report & Environmental Impact Statement	McKinley Environmental Solutions	November 2022
Acoustic Assessment Report	Freefield Ltd.	November 2022

Stage 1 Archaeological Assessment	Paterson Group	March 2021
Stage 2 Archaeological Assessment	Matrix Heritage	June 2021
Traffic Impact Assessment	Castleglenn Consultants	November 2022
ARA Site Plan	MHBC Planning	November 2022

A pre-consultation meeting to discuss the proposed application occurred with the County and Township on May 25, 2021.

2.0

BACKGROUND

2.1 Surrounding Land Uses and Features

The subject lands are located within a rural area of the Township of Horton. The primary land uses in the area are comprised of aggregate extraction, agricultural farmland, rural residential dwellings, and forested areas including environmentally protected areas. The following is a description of the land uses surrounding the proposed pit (**Figure 1**):

North:

There are two ARA-licensed aggregate operations across Storyland Road. One pit is licensed to Sullivan Holdings Inc. and currently holds a Class “A” Licence to extract up to 1,000,000 tonnes of aggregate annually (Licence # 17733). The licensed area of the pit is approximately 76 ha which directly fronts onto Storyland Road across from the subject lands. The other pit is immediately northwest of the Sullivan Holdings Pit and is a Class B Licence issued to Smiths Construction Company Arnprior Limited (Licence #15572). A former RV repair shop containing outdoor storage and maintenance shop is located adjacent to the Sullivan Holdings Pit along Storyland Road.

There are two off-site residences on the south side of Storyland Road adjacent to the subject lands.

Further north are several large environmental features including large woodlands and the Champlain Trail Lakes.

East:

River Road (County Road 1) and Ruttan Road are located east of the subject lands. Ruttan Road terminates near the southern boundary of the subject lands and contains less than 10 houses, five of which are located within 120 m of the subject lands. There is also a scrap metal processing yard on Ruttan Road within 120 m.

The Ottawa River is located over 1 km northeast of the subject lands (Browns Bay). The topography significantly drops from the subject lands towards the Ottawa River valley. For example, there is a drop in elevation of, in some cases, over 10 m from the subject lands to Ruttan Road.

South:

The majority of the lands to the south are comprised of a large woodland including pine plantations. There are several rural residences located along Eady Road four of which are located within 120 m of the subject lands (to the south).

West:

There are five residences on Eady Road within 120 m of the subject lands. A Trans-Canada pipeline (Canadian Mainline) runs in a north-south direction and is located over 200 m from the subject lands.

Within proximity of the subject lands, the pipeline crosses both Storyland Road and Highway 17. McCarrolls Lake is approximately 350 m from the subject lands. Highway 17 is approximately 2 km from the subject lands with direct access from Storyland Road.

In total, there are approximately 38 houses within 500 m of the subject lands (licence boundary). Of this total, approximately 13 houses are within 150 m of the proposed extraction area. The closest house is approximately 40 m from the proposed extraction area (2338 Eady Road). A minimum extraction setback of 30 m will be applied to all adjacent residential properties.

2.2 Aggregate Resources

The Mineral Aggregate Resources Inventory for the County of Renfrew prepared by the Ontario Geological Survey in 1986 (OFR 5579) identifies the subject lands as containing significant sand and gravel resources (**Figure 2**). This report recommended that these areas be included in extractive industrial designations in municipal planning documents.

More recently OGS has undertaken further assessment of the aggregate resources in the County. Based on updated data included in "Aggregate Resources of Ontario-2020", the subject lands are identified as containing sand and gravel resources of primary and tertiary significance (**Figure 3**).

The subsurface conditions on the subject lands generally consist of a thin topsoil layer, underlain by sand or interbedded sand and gravelly sand deposits. The sand and gravel resources found on the subject lands are capable of producing concrete sand, Granular B and/or SSM (Selected Subgrade Material).

The subject lands contain approximately 17 million tonnes of sand and gravel resources. The majority of resources are located below the water table.

According to 'Schedule B – Map 3 Mineral Aggregate and Mining Resource Map' in the County of Renfrew's Official Plan, the majority of the subject lands are identified as containing Sand & Gravel. The mapping also extends north and south of the subject lands. It is the intent of the County's Official Plan that these resources are protected by directing development away from these areas.

2.3 Water Resources

There is a small watercourse that passes through a mixed wetland located northwest of the subject lands and drains to the on-site unevaluated wetland through a culvert underneath Storyland Road. As a result of the proposed operation and rehabilitation of the Storyland Pit, the small watercourse and unevaluated wetland will remain undisturbed, along with the majority of the surface water catchment area reporting to these features.

The Water Report (Hydrogeological Assessment Level 1 & 2) was completed by WSP/Golder Associates in 2022. The Report included three field level investigations, which included the drilling of 18 boreholes and the excavation of 12 test pits. Water levels were measured on a monthly basis from May 2021 to August 2022.

Surface water monitoring was established in the unevaluated wetland feature, and water levels were measured on a monthly basis during ice-free conditions between April and August of 2022.

The report concluded that based on groundwater elevation data, the general groundwater flow direction in the vicinity of the site is influenced by the topography of the site and seasonal water table fluctuations. The direction of groundwater flow in the shallow overburden is to the east/northeast across the site.

The report concluded that there are no water supply wells located within the worst case predicted radius of influence associated with the flattening of the groundwater table, and as such, no impacts to water supply wells are predicted. Additionally, impacts to surface water associated with the proposed pit are marginal. Changes to land uses in contributing catchments are expected to reduce while infiltration is increased.

Based on the findings of the assessment, the Report concluded that no adverse effects to groundwater and surface water resources and their uses are anticipated as a result of the operation and rehabilitation of the proposed pit.

2.4 Natural Heritage Features

A Natural Environment Report & Environmental Impact Statement was conducted by McKinley Environmental Solutions. The study was prepared to meet the requirements for a Natural Environment Report as outlined in the ARA and the August 2020 Ontario Provincial Standards. It was also prepared to fulfill the requirements of the County's Environmental Impact Statement Guidelines.

The Natural Environment Report found that the majority of the subject lands consist of Cultivated Fields planted with soybeans. Treed habitats within the site include two Forest Stands (Deciduous and Mixed Forest), two Tree Stands, and a Mixed Hedgerow. A wetland (Mixed Willow Deciduous Thicket Swamp) is present in the northwest corner of the subject lands.

Proposed extraction setbacks will preserve the Mixed Willow Deciduous Thicket Swamp (wetland) while also providing a 30 m wide buffer from the wetland edge. The Mixed Hedgerow, which is present along the southwestern edge of the Site adjacent to Eady Road, occurs within the proposed setbacks. The two Tree Stands will be removed during the development of the site. The majority of the two Forest Stands (Deciduous and Mixed Forest) will also be removed during the development of the site. Where feasible and compatible with the development and operational requirements, the portions of the Forest Stands that overlap the proposed setbacks will be retained.

The two Forest Stands on the subject lands are part of a larger Significant Woodland, which extends beyond the Site to the south and southeast. Although the Forest Stands are part of the Significant Woodlot, the Natural Environment Report concluded that they contribute a relatively small portion of the Significant Woodland (approximately 6% of the larger woodland area). They do not contribute significantly to any of the Significant Woodland's natural functions, as they pertain to the Natural Heritage Reference Manual Significant Woodland Criteria. Due to the presence of extensive forest cover to the south and southeast of the Site, and throughout the region surrounding the Site, the loss of forest cover associated with the proposed development is not anticipated to be ecologically significant.

Mitigation measures have been recommended which are intended to protect retained trees within the setbacks, while also avoiding impacts to trees within the adjacent properties such as tree protection measures and establishing critical root zones for retained trees.

Several Category 2 (retainable) and Category 3 (archiveable) Butternut Trees (endangered) occur on the subject lands. The Endangered Species Act regulatory requirements for the Category 2 Butternut Trees

have been addressed by completing the MECP registration process. During the initial phases of the development, a 25 m wide setback will be maintained surrounding the Category 3 Butternut Trees in order to avoid impacting the trees. An authorization under the Endangered Species Act will be obtained prior to undertaking any development activities which may negatively impact the Category 3 Butternut Trees.

The proposed pit is not anticipated to significantly negatively impact the natural features and functions of the subject lands or adjacent lands subject to the implementation of the mitigation measures recommended in the Natural Environment Report.

2.5 Agricultural Resources

The majority of the subject lands are active agricultural lands most recently consisting of soybeans. The subject lands are mapped as containing Class 4 and Class 6 soils (**Figure 4**). Therefore, the subject lands are not considered prime agricultural lands. Further, the subject lands are not designated Agriculture in the County's Official Plan which coincides with prime agricultural areas in the County.

3.0

POLICY REVIEW

The following is an assessment of the proposed pit relative to the policies and provisions of the following documents:

- Provincial Policy Statement (2020)
- County of Renfrew Official Plan (March 2020)
- Township of Horton Zoning By-law 2010-14

3.1 Provincial Policy Statement (2020)

The 2020 Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development, and sets the policy foundation for regulating the development and use of land. The PPS provides for the appropriate development of land, while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment.

The PPS supports a comprehensive, integrated and long-term approach to planning, and recognizes linkages among policy areas. The PPS is to be read in its entirety and the relevant policies are to be applied to each situation. The policies in the PPS are outcome-oriented, and some policies provide flexibility in their implementation provided that provincial interests are upheld.

The Province's natural heritage resources, water resources, agricultural resources, mineral resources, and cultural heritage and archaeological resources provide important environmental, economic and social benefits. The wise use and management of these resources over the long term is a key provincial interest.

The PPS states that mineral aggregate resources shall be protected for long-term use. As much of the mineral aggregate resources as is realistically possible shall be made available as close to markets as possible.

The proposed pit contains significant aggregate resources, and is strategically located close to Highway 17 with access to market areas in Renfrew, Arnprior and west Ottawa, as well as infrastructure development and renewal.

Design recommendations have been incorporated into the Site Plans based on technical recommendations to ensure that no negative impacts occur to significant natural heritage features or adverse impacts on surrounding land uses as a result of the proposed operation.

The application is consistent with the PPS in the following respects:

- The proposed pit has been appropriately designed and buffered to mitigate adverse effects on sensitive land uses. Acoustic and visual berms will be constructed around portions of the subject lands to mitigate noise impacts to acceptable levels and screen the pit operations (Policy 1.2.6.1).
- The diversity and connectivity of natural features in the area, and the long-term ecological function and biodiversity of natural heritage systems will be maintained as a result of progressively rehabilitating the pit to natural features including a large pond, shoreline wetlands and wooded areas. The proposed extraction area is primarily comprised of agricultural cropland (Policy 2.1.2).
- There are no significant wetlands, significant coastal wetlands, significant woodlands, significant valleylands, significant areas of natural and scientific interest or coastal wetlands located on the subject lands. The on-site unevaluated wetland is considered a significant wildlife habitat feature. There will be no negative impacts on the wetland or its ecological functions including wildlife habitat as it is not proposed to be extracted or disturbed and will be protected by a 30 m extraction setback. Due to the presence of extensive forest cover to the south and southeast of the subject lands, and throughout the region, the loss of forest cover associated with the proposed pit is not anticipated to be ecologically significant and there will be no negative impacts on the adjacent significant woodland. The proposed operations as outlined in the ARA Site Plans include mitigation measures to protect these natural heritage features (Policy 2.1.4 & 2.1.5).
- The on-site wetland provides direct fish habitat and the off-site wetland northwest of Eady Road and Storyland Road may also provide fish habitat. There will be no development or site alteration within fish habitat. A 30 m extraction setback will be in place adjacent to the wetland and there will be no negative impacts on the feature or its ecological functions (Policy 2.1.6).
- In accordance with the ESA, permitting and/or mitigation options will be provided for the butternut tree habitat on the subject lands. Therefore, extraction may only occur in accordance with the requirements of the ESA (Policy 2.1.7).
- The potential impacts of the operation relative to the quality and quantity of groundwater and surface water have been assessed and there will be no adverse hydrogeological or hydrological impacts to water resources. The quality and quantity of both local groundwater and surface water will be maintained (Policy 2.2.2).
- The subject lands are mapped as containing Class 4 and Class 6 soils (**Figure 4**). Therefore, the subject lands are not considered prime agricultural lands. Further, the subject lands are not designated Agriculture in the County's Official Plan which coincides with prime agricultural areas in the County (Policy 2.3).
- The proposed pit makes significant aggregate resources available from a close to market location. The proposed operation and ARA Site Plans have been designed in a manner which minimizes social, economic and environmental impacts (Policy 2.5.2.1 & 2.5.2.2).
- The subject lands will be progressively rehabilitated to natural heritage features including new wetlands and woodlands, and final rehabilitation will be compatible with surrounding land uses and approved land use designations (2.5.3.1).

- The subject lands are not located in a prime agricultural area on prime agricultural land therefore the agricultural rehabilitation policies do not apply to the subject lands (Policy 2.5.4).
- The subject lands do not contain significant built heritage resources or significant cultural heritage landscapes (Policy 2.6.1).
- A Stage 1-2 Archaeological Assessment fully investigated the site and concluded there was no indication of archaeological remains with any cultural heritage value or interest, and no additional assessment was recommended (Policy 2.6.2).

The proposed Storyland Pit is consistent with the PPS, represents good planning, wise resource management, and is in the public interest after considering the economic, environmental and social factors that apply to this application.

3.2 County of Renfrew Official Plan

The purpose of the County's Plan is to provide a policy framework for growth and development in the County. The intent of the Plan is to promote orderly and efficient development in a manner which is consistent with the desired lifestyle and needs for growth and prosperity, as envisaged by the local communities and Councils, and County Council. The Official Plan has been prepared to guide future development to the year 2038.

The subject lands are designated Mineral Aggregate, Rural and Environmental Protection in the County's Official Plan (**Figure 5**). The Environmental Protection designation applies to the on-site wetland. The Rural lands applies to the northern and southern portions of the subject lands.

3.2.1 General Development Policies

Buffering from nearby sensitive uses will be provided to mitigate potential adverse impacts in the form of separation distance, extraction setbacks, and acoustic and visual berms. The pit will be operated in phases to limit the amount of land that is disturbed and under active aggregate extraction. As confirmed in the County's Official Plan, the MECP guidelines for minimum separation distances do not apply to new pits and quarries which are subject to site-specific studies (Sections 2.2(3) & (4)).

The subject lands contain habitat of an endangered species (butternut trees). In accordance with the ESA, applicable authorizations have been obtained for the three Category 2 trees and will be obtained for the four Category 3 trees. The Category 3 trees have been identified on the site plan and will be protected until such time as applicable authorizations are obtained (Section 2.2(8)(a)).

The subject lands are not located within an Area of Natural and Scientific Interest (ANSI) (Section 2.2(8)(b)).

The Mixed Willow Deciduous Thicket Swamp is considered a Significant Wildlife Habitat (SWH) feature. No other SWH features have been identified within the Site. There is no proposed extraction to occur within the Mixed Willow Deciduous Thicket Swamp, as it is outside of the limit of extraction, and a 30 metre extraction setback will be placed between the Swamp and extraction activities (Section 2.2(8)(c)).

The Natural Environment Report concluded that the onsite wetland provides direct fish habitat. An adjacent wetland is present beyond the Site northwest of the Mixed Willow Deciduous Thicket Swamp

(northwest of the intersection of Eady Road and Storyland Road). The adjacent wetland (beyond the Site) may also provide fish habitat. There are no other wetlands and/or watercourses within the Site and/or within 30 m of the Site, and therefore there are no other features within the immediate vicinity of the Site which have the potential to provide direct fish habitat. The Mixed Willow Deciduous Thicket Swamp and the adjacent wetland (beyond the Site) will both be preserved by the 30 m wide setback from the edge of the Mixed Willow Deciduous Thicket Swamp (described above). As such, the Natural Environment Report concluded that no significant negative impacts to fish habitat are anticipated to result from the proposed development ((Section 2.2(8)(d)).

The Natural Environment Report assessed the two (2) Forest Stands (Deciduous and Mixed Forest) found within the Site are part of a larger Significant Woodlot, which extends beyond the Site to the south and southeast. The western Forest Stand is identified as a significant woodland on Schedule B of the Official Plan (**Figure 6**). The Natural Environment Report concluded that available evidence suggests that the two (2) Forest Stands do not contribute significantly to any of the Significant Woodlot's natural functions, as they pertain to the Natural Heritage Reference Manual (NHRM) Significant Woodlot Criteria (MNRF 2010). This is due to the presence of extensive forest cover to the south and southeast of the Site, and throughout the region surrounding the Site, the loss of forest cover associated with the proposed development is not anticipated to be ecologically significant (Section 2.2(8)(e)).

The on-site wetland and watercourse are identified as Valleylands on Schedule B of the Official Plan (**Figure 6**) which are considered natural areas that occur in a valley or other landform depression that has water flowing through or standing for some period of the year. Valleylands identified on Schedule B are illustrated as 30m from watercourses and may not all be significant. The Natural Environment Report determined there are no significant valleylands on the subject lands or within 120 m. Regardless, the on-site wetland and watercourse will not be disturbed and will be protected from extraction with a 30 m setback (Section 2.2(8)(f)).

The features identified on Schedule B will function as a Natural Heritage System for the County and will be used to determine when an Environmental Impact Study is required for proposed development. A Natural Environment Report (Environmental Impact Study) has been prepared for this application. The rehabilitation of the pit will result in the creation of a large pond with varying shorelines, new wetlands and reforested areas adjacent to the larger woodland to the south of the subject lands and along Storyland Road (Section 2.2(8)(g))

Policies for noise and/or vibration in the County's Official Plan are designed to ensure that communities are not subject to an unacceptable level of noise and/or vibration from, for example, aggregate extraction operations. There will be no vibration impacts at the proposed pit as it does not involve blasting to extract sand and gravel resources. A Noise Study was completed to assess the potential noise impacts from the Proposed Storyland Pit. The Noise Study assessed the impacts on surrounding sensitive receptors under worst case scenarios, and provided recommendations for acoustic berms and equipment restrictions as identified on the ARA Site Plans. The report concluded that subject to the implementation of noise recommendations, the proposed Storyland Pit can operate under acceptable levels as prescribed by the MECP NPC-300 Guidelines (Section 2.2(15)).

A TransCanada Pipeline is located west of the subject lands on the west side of Eady Road. The County's Official Plan states that as development within 200 m of these facilities may affect the safety and integrity of the pipelines, the County will require early consultation with TransCanada for any development proposals within 200 m of its facilities. The subject lands are located outside the pipeline's 200 m buffer (**Figure 7**) (Section 2.2(22)).

An EIS/Natural Environment Report was completed as part of the technical report requirements to accompany the application. The Report assessed the potential impacts of the proposed Storyland Pit on surrounding natural heritage features and their functions. The report was completed by a Qualified Professional, and follows the guidelines of policy 2.2.23. The report concluded that the proposed Storyland Pit is not anticipated to have a negative impact on natural heritage features or their functions (Section 2.2(23)).

The subject lands fall outside of a local conservation authority and there is no source water protection plan established for the region. The Water Report concluded there are no impacts to groundwater quality or quantity related to Wellhead Protection Areas as a result of the proposed development of the Storyland Pit (Section 2.2(37)).

3.2.2 Rural Designation

Approximately 24.1 ha of the subject lands are designated Rural. The Official Plan states that the Rural designation comprises lands which are not considered resource lands such as aggregate resources. However, based on Provincial geological mapping and site-specific resource testing, the portion of the subject lands in the Rural designation contain aggregate resources of significant quality and quantity.

Some of the subject lands were previously redesignated from Mineral Aggregate to Rural to accommodate severances in the area. However, this does not preclude these lands from being redesignated back to Mineral Aggregate as confirmed in Section 7.3.3 of the County's Official Plan (further discussed below). Further, those decisions were made prior to new mapping from the OGS which identifies these lands as containing primary and tertiary sand and gravel resources.

3.2.3 Mineral Aggregate Designation

Approximately 41.4 ha of the subject lands are designated Mineral Aggregate.

Section 7.1 of the County's Official Plan states that these policies are intended to firstly, ensure that major aggregate deposits remain available for existing and future use and secondly, they are intended to minimize impacts on adjacent uses and the natural environment from extractive operations. The objectives of the Mineral Aggregate designation are the following:

- (1) To protect known, significant deposits of aggregates, including existing pits and quarries, for future extraction.
- (2) To identify lands within the County which are licensed for aggregate extraction and have potential for aggregate resource extraction.
- (3) To prevent any change in land use that could conflict with legally existing pits and quarries or inhibit the future extraction of the aggregate resources.
- (4) To ensure extraction is undertaken in a manner which minimizes social, economic and environmental impacts.

Section 7.3.1 states that those lands not currently designated Mineral Aggregate may be designated by an amendment to the Official Plan. Mineral aggregate resources identified on Schedule B will be protected by directing development away from these areas. The majority of the subject lands are identified as Sand & Gravel on Schedule B (**Figure 8**).

Section 7.3.2 states that the Mineral Aggregate designation shall mean that the predominant use of land will be for pits and quarries. As noted, the majority of the subject lands are included in the Mineral Aggregate designation.

Section 7.3.3 states that Council will consider amending the Official Plan to a Mineral Aggregate designation to permit extraction in areas not designated Mineral Aggregate but which are determined to be suitable for aggregate extraction. The lands currently designated Rural are proposed to be redesignated to Mineral Aggregate. Through technical reports and studies this site has demonstrated to be suitable for aggregate extraction. There is a significant amount of high quality aggregate resources situated within the site and the existing Mineral Aggregate designation on the majority of the lands already recognize the presence of the resource on the lands and its future use for aggregate extraction.

Section 7.3.4 states that areas designated Mineral Aggregate which are not currently used for pits and quarries shall be placed in a non-development type of zone and that new sensitive uses should be prohibited. A large portion of the subject lands have been placed in an Extractive Industrial Reserve Zone in the Township of Horton Zoning By-law (further discussed in Section 4.3 of this Report).

Section 7.3.4 also states that in considering an amendment to the local zoning by-law to allow a new pit, the following matters shall be examined (policy provided in verbatim followed with responding comments):

- a) *degree of exposure of the operation to the public and the need for and effectiveness of any mitigating measures (berms, screening, etc.);*

Two sides of the subject lands are located adjacent to public roads (Storyland Road and Eady Road). Extraction setbacks will be 30 m along these roads with berms to mitigate exposure of the operation to the public. Existing vegetation and trees within these setbacks will be retained where feasible. The proposed pit operation will be phased to limit how much of the site is disturbed and under active aggregate extraction. The processing plant for the pit will be placed in the southern portion of the subject lands furthest from adjacent houses.

- b) *the haulage routes and the resulting impact on the transportation system (traffic density, etc.);*

The majority of trucks are proposed to exit the Storyland Pit and head west on Storyland Road to Highway 17 which are existing truck routes. The Traffic Impact Study (TIS) determined under worst case conditions that there would be 16 trucks per hour (32 total trips to and from the site). The study concluded that the proposed pit would not require any roadway modifications to the existing road network aside from future access to the site on Storyland Road.

- c) *the progressive rehabilitation and final rehabilitation plans, and the suitability of these plans having regard to the character of the surrounding lands:*
 - i. *where extractive operations are proposed on prime agricultural lands (Classes 1, 2 and 3 soils) which are located within the larger Agriculture designation, Council shall require rehabilitation of the site to substantially restore the same acreage and average soil capability for agriculture; and*
 - ii. *on prime agricultural lands, complete agricultural rehabilitation is not required if...*

The pit is proposed to be rehabilitated to natural heritage features including a large pond, new wetlands and reforested areas.

Canada Land Inventory (CLI) Soil Capability Mapping indicates that the lands contain Class 4 and 6 Soils, and thus are not considered Prime Agricultural Lands. Further, the lands are not designated Agricultural by the County Official Plan. As such rehabilitation to an agricultural condition is not proposed, nor is required.

- d) the area in which the proposed operation is located should be within an area of known aggregate resources, of which there exists some estimate of the geographic distribution and potential of the deposits.*

The subject lands are located within an area of known aggregate resources. They are identified in Provincial geological mapping as containing high quality sand and gravel resources and are designated and zoned accordingly. There are two licensed aggregate operations in close proximity to the subject lands including on the other side of Storyland Road.

There are approximately 17 million tonnes of sand and gravel resources within the proposed extraction area. Based on resource testing, these sand and gravel resources are capable of producing concrete sand, Granular B and/or SSM (Selected Subgrade Material).

- e) the water table, existing and proposed drainage facilities, and setbacks from watercourses;*

Based on monitoring well data on the subject lands, the water table ranges from approximately 159.9 masl to 165.3 masl. There is an existing wetland and watercourse on the subject lands. These features will not be disturbed and a setback of 30 m will be applied to the boundary of the wetland (the watercourse runs through the wetland).

- f) effects on adjacent land uses, nearby communities, and natural heritage features;*

The effects on adjacent land uses, nearby communities and natural heritage features have been thoroughly assessed through the completion of several technical studies with the proposed application. Mitigation measures have been incorporated on the ARA site plans to ensure that potential impacts on nearby land uses and natural heritage features are minimized in accordance with provincial and municipal standards.

- g) hydrology, wildlife or such studies as may be required due to special concerns related to a specific site; and*

Hydrology and wildlife were assessed through the Water Report and Natural Environment Report, respectively.

Section 7.3.6 states that the impact from pits is considered within an influence area of 300 m. This area is considered in the County's Official Plan to have the most impact on sensitive land uses, and studies are required to assess potential impacts. There are approximately 31 residences within 300 m of the proposed pit.

The influence area is not a minimum separation distance. Studies have been provided to assess potential impacts on sensitive land uses and determine appropriate separation distances. The proposed pit has been appropriately designed and buffered to mitigate adverse effects on sensitive land uses. In addition, two aggregate operations already operate within the area, and the area is recognized for its aggregate resource.

Section 7.3.7 states that all pit and quarry uses must satisfy the approval and regulatory requirements of MECP with respect to pumping and dewatering, water supply, wastewater, solid and liquid waste

disposal and all emissions to the atmosphere including noise and vibration. There will be no dewatering or solid and liquid waste disposal as part of the proposed Storyland Pit operation. The Water Report concluded that the proposed pit would not negatively impact the quantity or quality of water supply. The Noise Report concluded that the pit would operate in compliance with MECP noise guidelines subject to the implementation of the recommended mitigation measures.

3.2.4 Environmental Protection

Approximately 4 ha of the subject lands are designated Environmental Protection.

Section 8.3.1 states that the Environmental Protection designation is generally limited to conservation uses, non-passive recreational uses and agricultural uses. As noted, no development or site alteration is proposed in this area and the on-site will be retained and protected.

Section 8.3.5 (a) states that local wetland areas have been designated as Environmental Protection. Development is not permitted in local wetlands but is permitted on lands adjacent to local wetlands. The proposed Storyland Pit is adjacent to a local wetland (non-provincially significant). There is no proposed extraction to occur in this wetland, and a 30 metre buffer from the wetland is proposed. The Natural Environment Report and Water Report concluded that the proposed Storyland Pit is not anticipated to have a negative impact on the adjacent wetland.

3.2.5 Transportation

Section 13.3.1(a) states that MTO has plans to expand Highway 17 and will be protecting the designated lands and corridor as a fully controlled access four lane freeway. MTO's capital projects indicate that the twinning of Highway 17 from Scheel Drive to 3 km west of Bruce Road is scheduled to start construction in 2023. It is understood that the twinning of the Highway 17 corridor would see the existing at-grade Highway 17/Storyland-Pinnacle Road intersection being re-configured to a new grade-separated interchange which would result in significant traffic operational improvements according to the Traffic Impact Study.

The subject lands are not located within the designated lands for the Highway 17 twinning project.

Section 13.3.2 states that new development which proposes accesses to or fronts on a County road must satisfy all the requirements of the Public Works and Engineering Department. The Traffic Impact Study concluded that the proposed pit access onto Storyland Road would not require upgrades to the road corridor in terms of a truck climbing lane or an auxiliary turn lane. An access permit will be obtained from the County prior to the operation of the pit.

In conclusion, the proposed Storyland Pit is consistent with the policies in the County of Renfrew Official Plan. The draft County Official Plan Amendment is included in **Appendix A**.

3.3 Township of Horton Zoning By-Law

The subject lands are zoned Extractive Industrial Reserve (EMR), Rural (RU and RU-E9) and Environmental Protection (**Figure 9**). The area of the Extractive Industrial Reserve is primarily based on the County's Mineral Aggregate designation except where areas were previously removed to accommodate nearby severances.

The RU-E9 applies to a portion of the subject lands where a severance previously occurred. The site-specific exceptions include minimum lot area (10 ha) and minimum front yard depth (70 m). It is our understanding these provisions were required to address compatibility with the adjacent pit. It should be noted that there has been no dwelling or structure constructed on the RU-E9 lands.

Section 3.10 states that a gravel pit shall be prohibited in all zones except in an Extractive Industrial (EM) Zone. A zoning by-law amendment application has been submitted to rezone the subject lands from Extractive Industrial Reserve (EMR) Zone and Rural (RU and RU-E9) to the EM Zone.

Section 3.27(a)iii) states that no dwelling shall be constructed within 150 m of an Extractive Industrial Reserve Zone. This demonstrates the protection provided to this zone and on the subject lands in recognition of its future potential use for aggregate extraction.

Section 3.27(b)iii) states that no gravel pit shall be located within 150 m of an existing dwelling. Such prohibition does not exist in the County's Official Plan which recognizes that minimum separation distances do not apply to pits and quarries which are subject to site-specific studies. The studies completed for this application have demonstrated that the proposed pit has appropriately minimized potential impacts on surrounding land uses in accordance with applicable standards.

Section 13.2 outlines the zone provisions that apply to the Extractive Industrial (EM) Zone. The proposed setbacks for the pit are in accordance with regulations established under the ARA. The draft zoning by-law amendment in **Appendix B** provides a site-specific exception which recognizes these proposed setbacks.

The Environmental Protection Zone will remain in place as the wetland will not be disturbed and is protected from aggregate extraction.

4.0

AGGREGATE RESOURCES ACT SUMMARY INFORMATION

The following information is provided to address the requirements for a Summary Statement for a Class A Licence as set out in the Aggregate Resources of Ontario Standards.

4.1 Standard 1.1 – Agricultural Classification of the Proposed Site

According to the Canada Land Inventory (CLI) Capability for Agricultural mapping, the proposed Storyland Pit is mapped as Class 4 and 6 soil (**Figure 4**). The subject lands are not considered prime agricultural lands nor are they identified as a prime agricultural area in the County's Official Plan.

Due to extraction occurring below the water table, the proposed rehabilitation of the lands will take the form of a lake, with natural features including wetland and forested areas. The lands are not proposed to be rehabilitated to an agricultural condition.

4.2 Standard 1.2 – Planning and Land Use Considerations

The proposed Storyland Pit is designated as Mineral Aggregate, Environmental Protection, and Rural in the County of Renfrew Official Plan (**Figure 5**), and is zoned Extractive Industrial Reserve (EMR), Environmental Protection (EP) and Rural (RU and RU-E9), in the Township of Horton Zoning By-law (ZBL) 2010-14 (**Figure 9**).

The subject lands are located within a rural area of the Township of Horton. The primary land uses in the area are comprised of aggregate extraction, agricultural farmland, rural residential dwellings, and forested areas including environmentally protected areas. The subject lands are not located within an area subject to a Provincial Plan.

Please refer to Sections 2 and 3 of this Report for a further discussion on Planning and Land Use Considerations.

4.3 Standard 1.3 – Source Water Protection

The subject lands are not located in a source protection area under the Clean Water Act. There is no Source Protection Plan applicable to this area.

4.4 Standard 1.4 – Quality and Quantity of Aggregate

The Mineral Aggregate Resources Inventory for the County of Renfrew (OFR 5599, 1986) identifies the subject lands as containing significant sand and gravel resources (**Figure 2**). More recently OGS has undertaken further assessment of the aggregate resources in the County. Based on updated data, the subject lands are identified as containing sand and gravel resources of primary and tertiary significance (**Figure 3**).

The subsurface conditions on the subject lands generally consist of a thin topsoil layer, underlain by sand or interbedded sand and gravelly sand deposits. The sand and gravel resources found on the subject lands are capable of producing concrete sand, Granular B and/or SSM (Selected Subgrade Material).

The subject lands contain approximately 17 million tonnes of sand and gravel resources. The majority of resources are located below the water table.

Please refer to Section 3.2 of this Report for further information on aggregate quality and quantity.

4.5 Standard 1.5 – Haul Routes and Truck Traffic

The proposed haul route is predominantly Storyland Road west to Highway 17 which are existing truck routes. Limited truck traffic may head east on Storyland Road for local deliveries. There will be no truck entrances or truck traffic on Eady Road. An entrance permit will be obtained from the County for the proposed truck entrance on Storyland Road.

The Traffic Impact Study determined under worst case conditions that there would be 16 trucks per hour (32 total trips to and from the site). The study concluded that the proposed pit would not require any roadway modifications to the existing road network aside from future access to the site on Storyland Road.

4.6 Standard 1.6 – Progressive and Final Rehabilitation

The lands will be extracted to a maximum depth of approximately 149 masl. The resulting lake area will be approximately 48 ha in size. Below water, the rehabilitated side slopes will be 2:1 or the natural angle of repose, while above water side slopes will be 3:1. Shallow shoreline areas are proposed around the perimeter of the lake.

Approximately 1.1 ha of new wetlands will be created along the southern licensed boundary. Approximately 3.2 ha of reforestation areas will be created on peninsulas near Storyland Road and along the southern setback adjacent to the off-site wooded areas.

The rehabilitated landform will be compatible with the surrounding area. Please refer to the ARA site Plans (Rehabilitation Plan) for additional details regarding progressive and final rehabilitation.

5.0

CONCLUSIONS

Tomlinson is applying for a Class A Licence under the Aggregate Resources Act, a Zoning By-law Amendment and Official Plan Amendment to permit aggregate extraction on lands located at Part of Lot 20, Concession 6, geographic Township of Horton.

The subject lands contain high quality sand and gravel resources (17 million tonnes) in a location that is close to market along existing truck routes. Resources extracted from the subject lands will help support the timely provision of infrastructure and reduce transportation-related greenhouse gas emissions as a result of making resources available in a close to market location.

The operational design of the pit incorporates the recommendations of the technical reports prepared for the application in order that the pit can operate within Provincial guidelines and minimize social, economic and environmental impacts.

The proposed Storyland Pit represents the wise use and management of significant aggregate resources and is in the public interest in consideration of the economic, social and environmental factors that apply to this application, and:

- Is consistent with the Provincial Policy Statement;
- Conforms to the County of Renfrew Official Plan;
- Includes information required by the Aggregate Resources Act.

Submitted by:



Neal DeRuyter, BES, MCIP, RPP



Dawson McKenzie, MSc. (Plan)

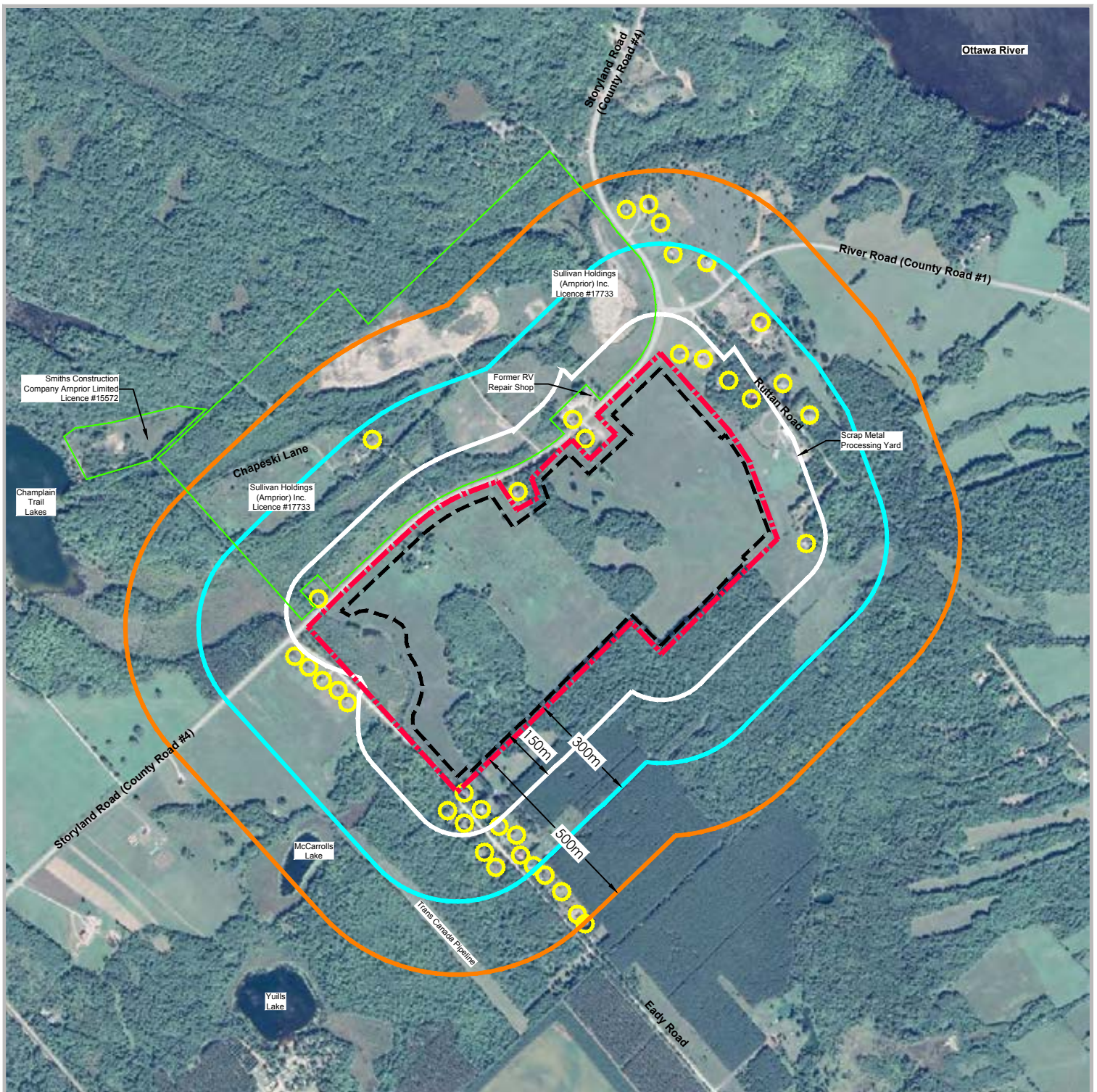


Figure 1
Context Plan

LEGEND

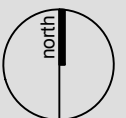
- Subject Lands
- 500m from Subject Lands
- 300m from Subject Lands
- 150m from Limit of Extraction
- Existing Residence

DATE: October 2022

SCALE: 1:15,000

FILE: 9137W

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R.W. Tomlinson Limited
Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

Base Map Source:
 Google Imagery 2018



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 & LANDSCAPE
 ARCHITECTURE**

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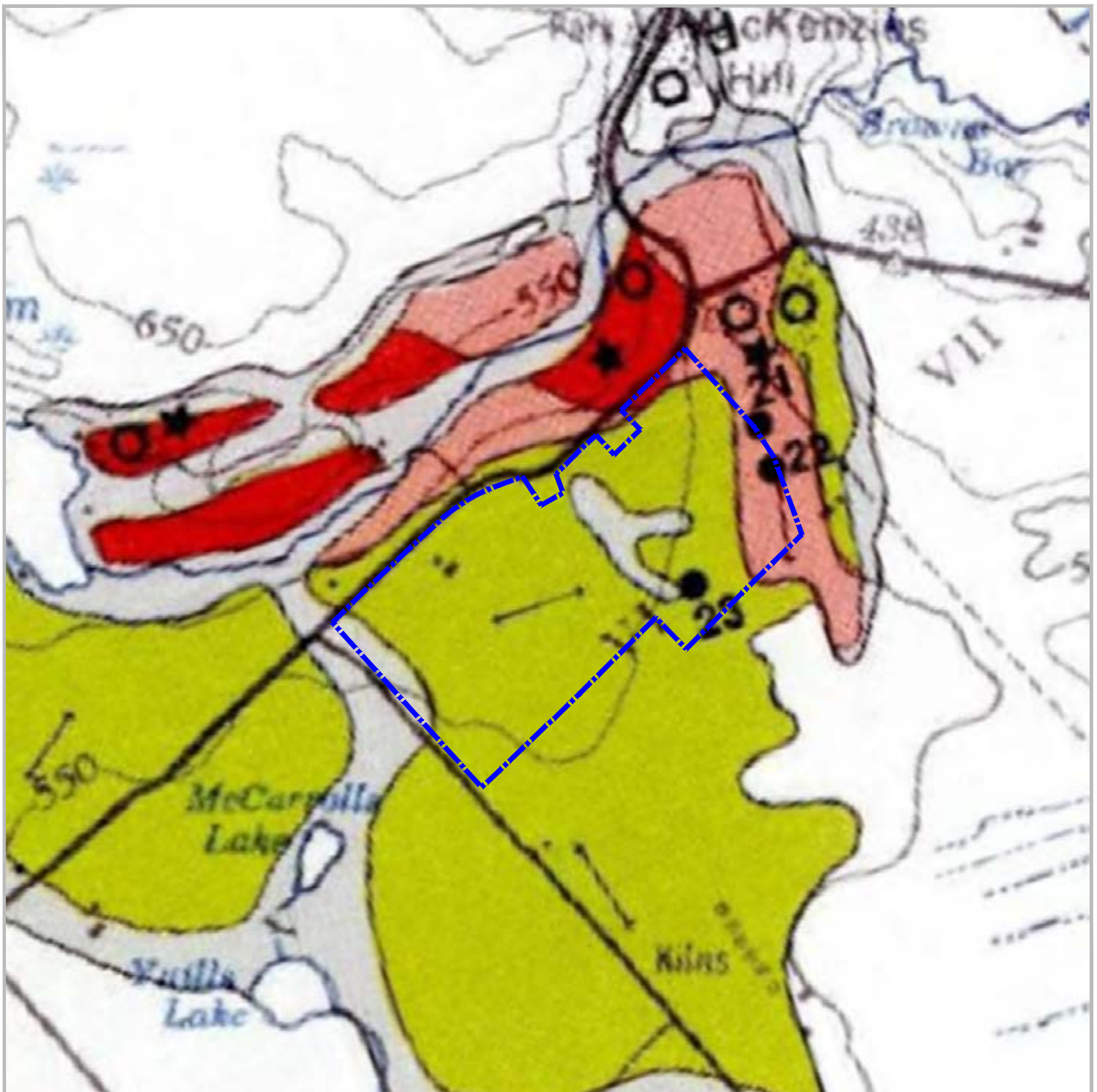


Figure 2
**Open File
 Report 5579**
 Mineral Aggregate
 Resource Inventory for
 the County of Renfrew

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands

A. COARSE AGGREGATE		B. FINE AGGREGATE		Geological boundary Depleted area Geological line Benchmarks, with number Pit Quarry M.T.O. test location
1	ASPHALT AND CONCRETE	1	ASPHALT AND CONCRETE	
2	GRANULAR "A" 3" - 6" CRUSHED	2	ASPHALT AND CONCRETE	
3	GRANULAR "B" GRANULAR "C"	3	GRANULAR "B" GRANULAR "C"	
4	GRANULAR "A"	4	GRANULAR "B" GRANULAR "C"	
UNCONFORMABLE MATERIAL		UNCONFORMABLE MATERIAL		

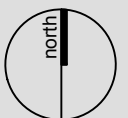
Base Map Source:
 ONTARIO GEOLOGICAL SURVEY, Open File Report 5579, Mineral Aggregate
 Resource Inventory for the County of Renfrew, Southern Ontario, 1986

DATE: October 2022

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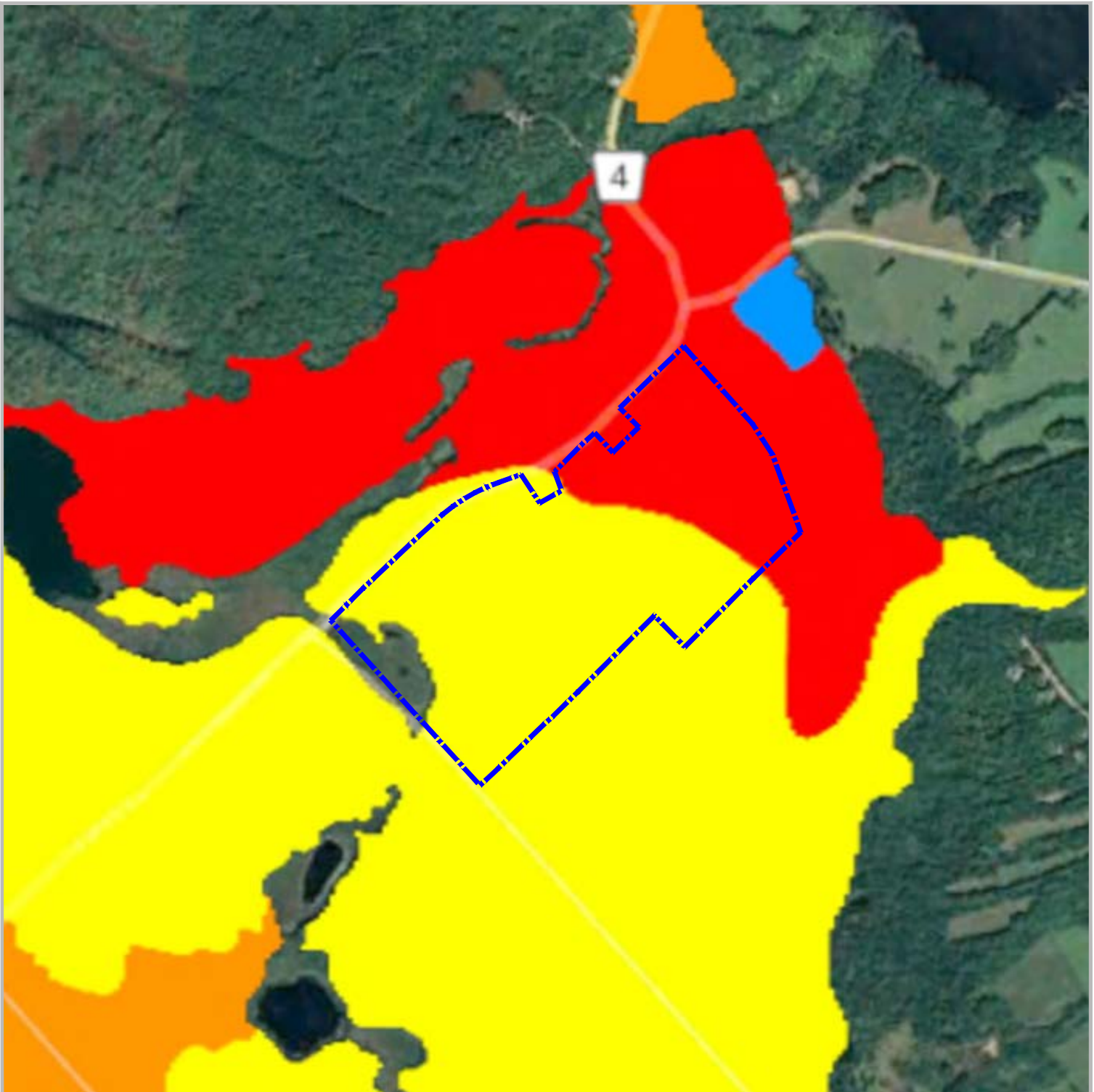


Figure 3
**Aggregate Resources
 of Ontario
 2020 Mapping**

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands



Sand and Gravel Resources of
 Primary Significance



Sand and Gravel Resources of
 Secondary Significance



Sand and Gravel Resources of
 Tertiary Significance



Restricted Resource
 (Sand and Gravel)

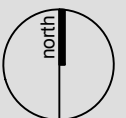
Base Map Source:
 Aggregate Resources of Ontario - 2020, Ontario Geological Survey, June 2021

DATE: October 2022

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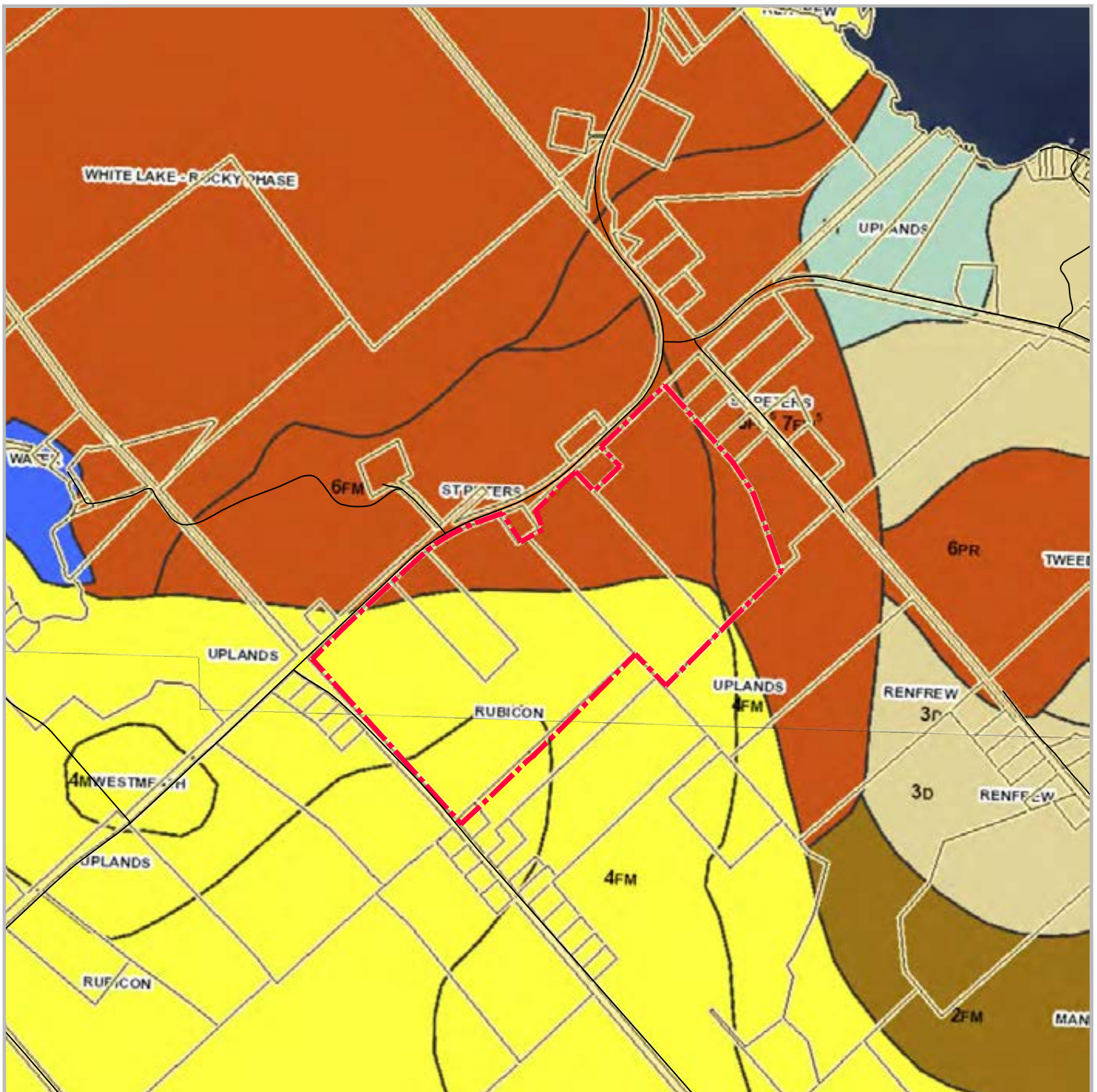
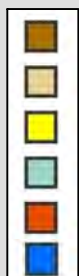


Figure 4
**Soil Capability for
Agriculture**

LEGEND



Subject Lands



Class 2

Class 3

Class 4

Class 5

Class 6

Organic Soil

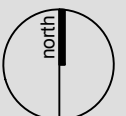
Base Map Source:
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County of Renfrew



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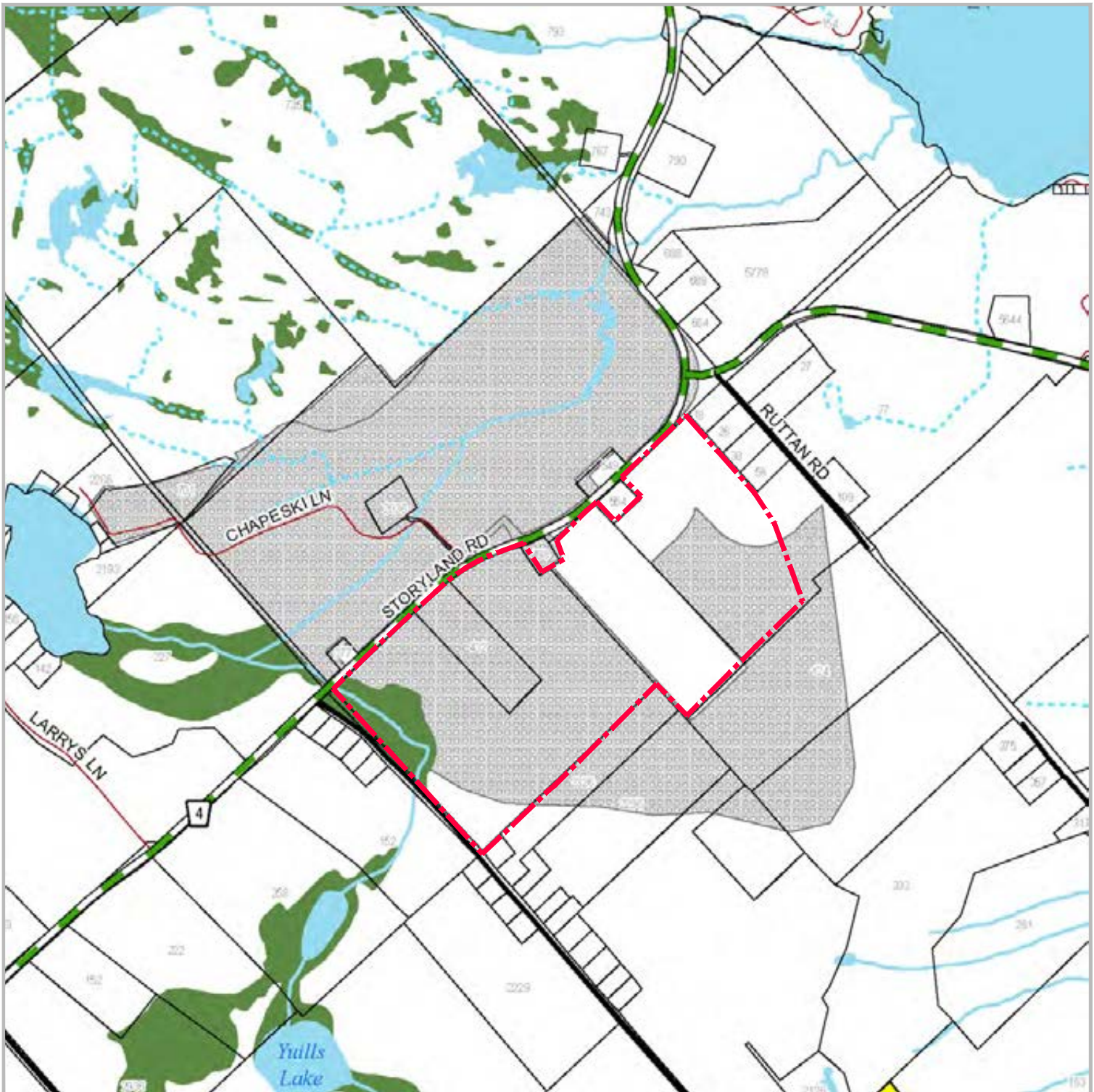


Figure 5
County of Renfrew
Official Plan
 Schedule "A"
 Township of Horton
 Enlargement

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands

- County Road
- Municipal Maintained
- Seasonal Municipal Maintained
- Private Road
- Property Parcels
- Environmental Protection Area
- Rural
- Mineral Aggregate

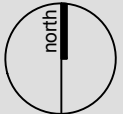
Base Map Source:
 County of Renfrew Official Plan Schedule "A" - Township of Horton
 Enlargement (August 19, 2021)

DATE: October 2022

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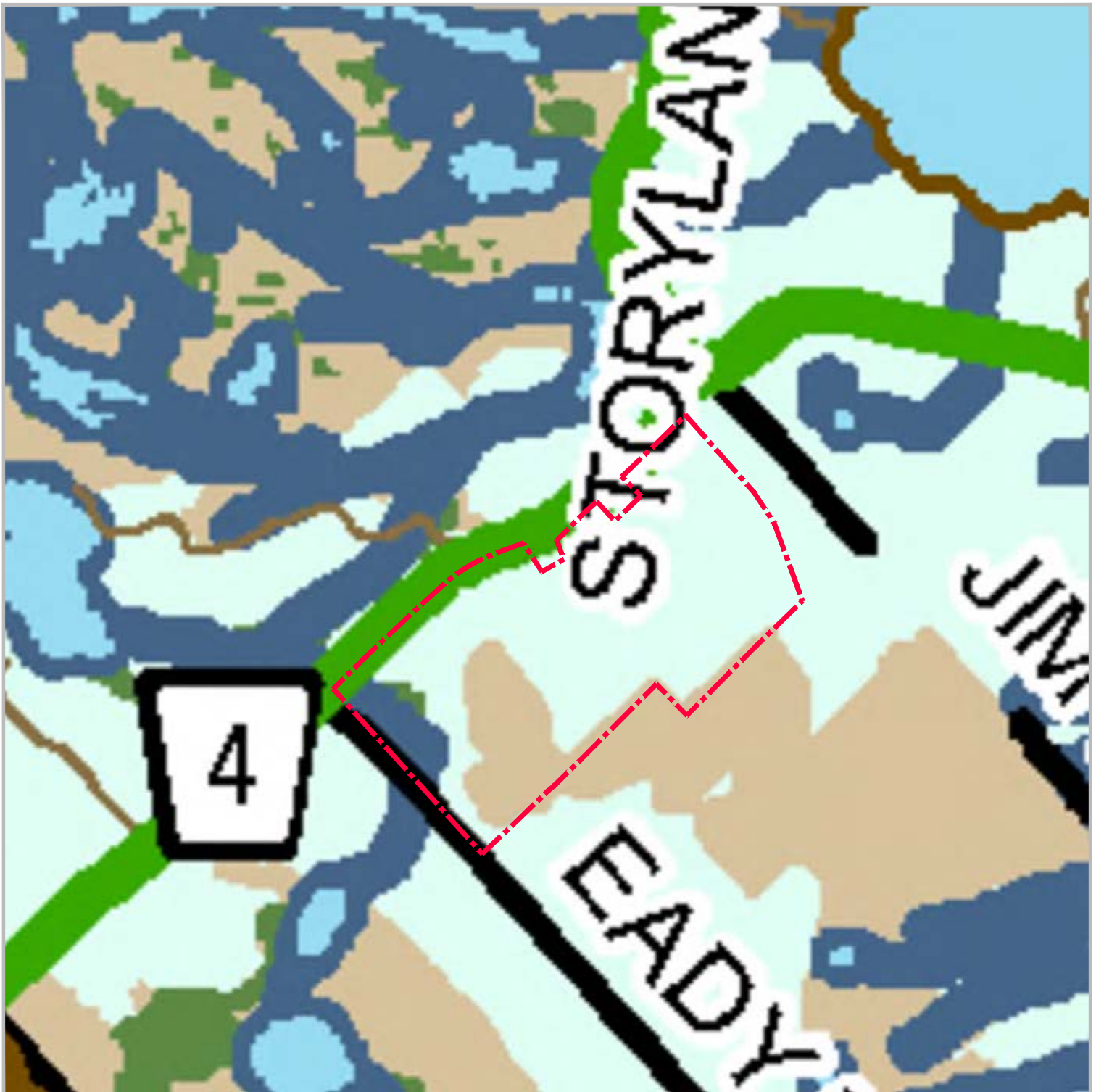


Figure 6
**County of Renfrew
 Official Plan**
 Schedule "B" - Map 4
 Natural Heritage Features

R.W. Tomlinson Limited
Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands

- County Road
- Municipal Road
- Seasonal Road
- Private Road
- Water
- Environmental Protection Area
- Significant Woodlands
- Valley Lands
- Muskrat, Indian, Westmeath Watershed

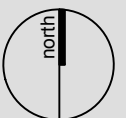
Base Map Source:
 County of Renfrew Official Plan Schedule "B" - Map 4 Natural
 Heritage Features (August 19, 2021)

DATE: October 2022

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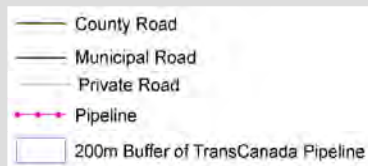
Figure 7
**County of Renfrew
 Official Plan**
 Schedule "B" - Map 2
 Infrastructure Map

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands



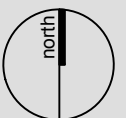
Base Map Source:
 County of Renfrew Official Plan Schedule "B" - Map 2
 Infrastructure Map (August 19, 2021)

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Figure 8
**County of Renfrew
 Official Plan**
 Schedule "B" - Map 3
 Mineral Aggregate and
 Mining Resource Map

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands

- Provincial Highway
- County Road
- Municipal Road
- Municipal Seasonal Road
- Water
- Aggregate Site Authorized – Active
- Sand & Gravel

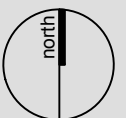
Base Map Source:
 County of Renfrew Official Plan Schedule "B" - Map 3 Mineral
 Aggregate and Mining Resource Map (August 19, 2021)

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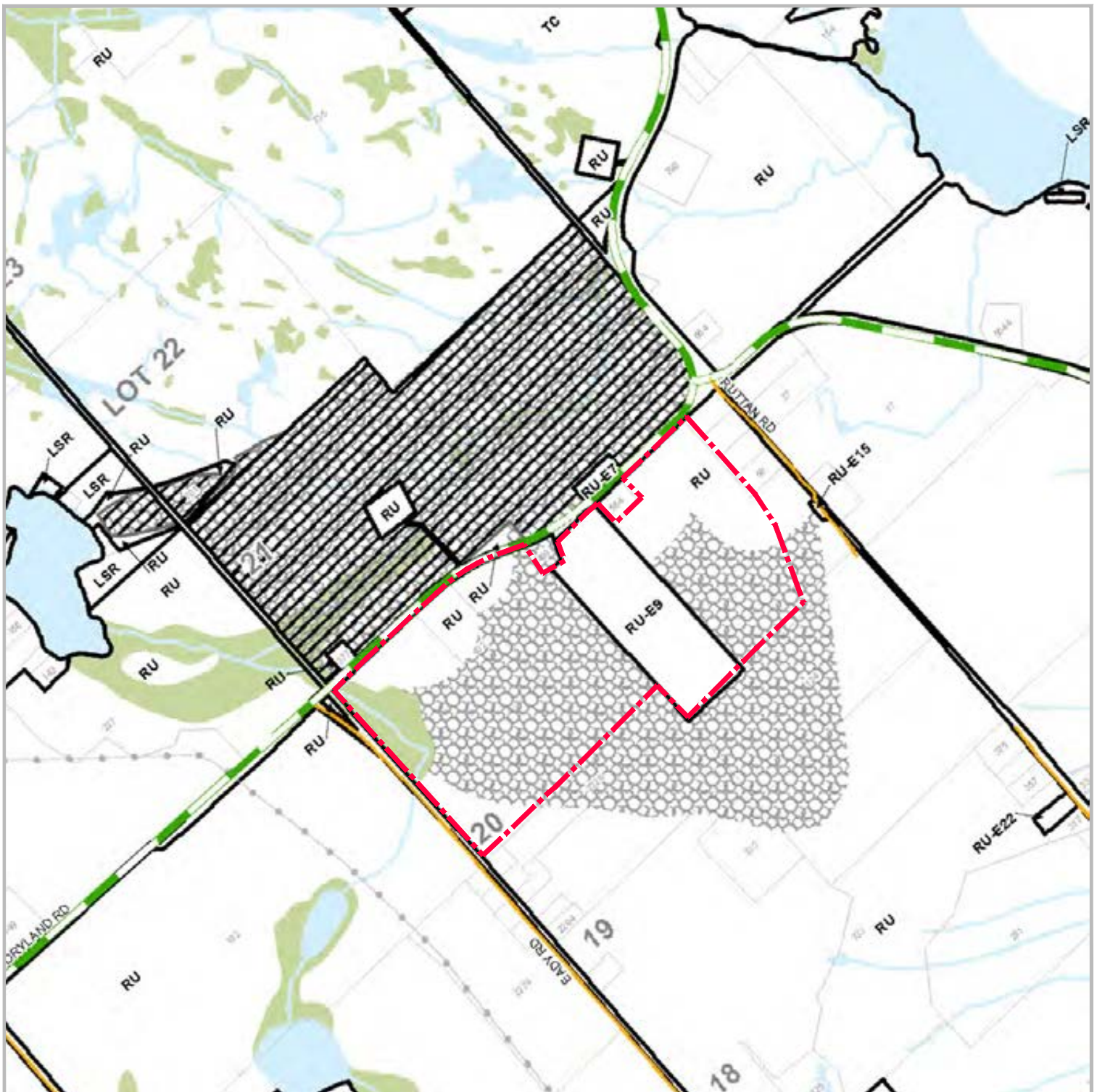


Figure 9
**Horton Township
 Zoning By-law
 2010-14**
 Schedule 'A'

R.W. Tomlinson Limited
 Storyland Property
 Storyland Road
 Horton Township
 County of Renfrew

LEGEND



Subject Lands

- Environmental Protection
- Extractive Industrial Reserve (EMR)
- Extractive Industrial (EM)
- Limited Service Residential
- Tourism Commercial
- Rural

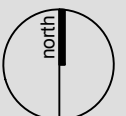
Base Map Source:
 Township of Horton Zoning By-law Schedule 'A' (Map Consolidation Jan.11, 2011)

DATE: October 2022

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APPENDIX A

County of Renfrew Draft Official Plan Amendment

**AMENDMENT NO.XX TO THE OFFICIAL PLAN FOR
THE COUNTY OF RENFREW**

INDEX	PAGE
The Constitutional Statement	1
Part A - The Preamble	2
Part B - The Amendment	3
Schedule "A" Land Use Plan	4

THE CONSTITUTIONAL STATEMENT

PART A - THE PREAMBLE does not constitute part of this amendment.

PART B - THE AMENDMENT consisting of the following text and Schedule "A" constitutes Amendment No. XX to the Official Plan for the County of Renfrew.

PART A - THE PREAMBLE

Purpose

To redesignate the lands shown on Schedule “A” attached hereto from “Rural” and “Environmental Protection” to “Mineral Aggregate” in the County of Renfrew Official Plan. The Mineral Aggregate designation will allow for the wise use of an identified natural resource.

Location

The lands affected by this amendment are described as part of Lot 20, Concession 6, in the geographic Township of Horton, located on the south side of Storyland Road, between Eady Road and Ruttan Road.

Basis

The Official Plan for the County of Renfrew was adopted by the Council of the County of Renfrew on March 27, 2002, and approved by the Minister of Municipal Affairs and Housing on June 16, 2003. The Official Plan was recently updated by Official Plan No. 31, under Section 26 of the Planning Act, and approved by the County of Renfrew on August 19, 2021. This amendment represents the XXth amendment to the Official Plan.

PART B - THE AMENDMENT

All of this part of the document entitled Part B - The amendment, consisting of the following text and Schedule "A" constitutes Amendment No. XX to the Official Plan for the County of Renfrew.

Details of the Amendment

The Official Plan is amended as follows:

- (a) Schedule "A" of the Official Plan is hereby amended by redesignating those lands described as part of Lot 20, Concession 6 geographic Township of Horton, in the Township of Horton, from "Rural" to "Mineral Aggregate", as shown on the attached Schedule "A".

Implementation and Interpretation

The implementation and interpretation of this Amendment shall be in accordance with the respective policies of the Official Plan for the County of Renfrew.

Schedule "A" to Official Plan Amendment No. XX

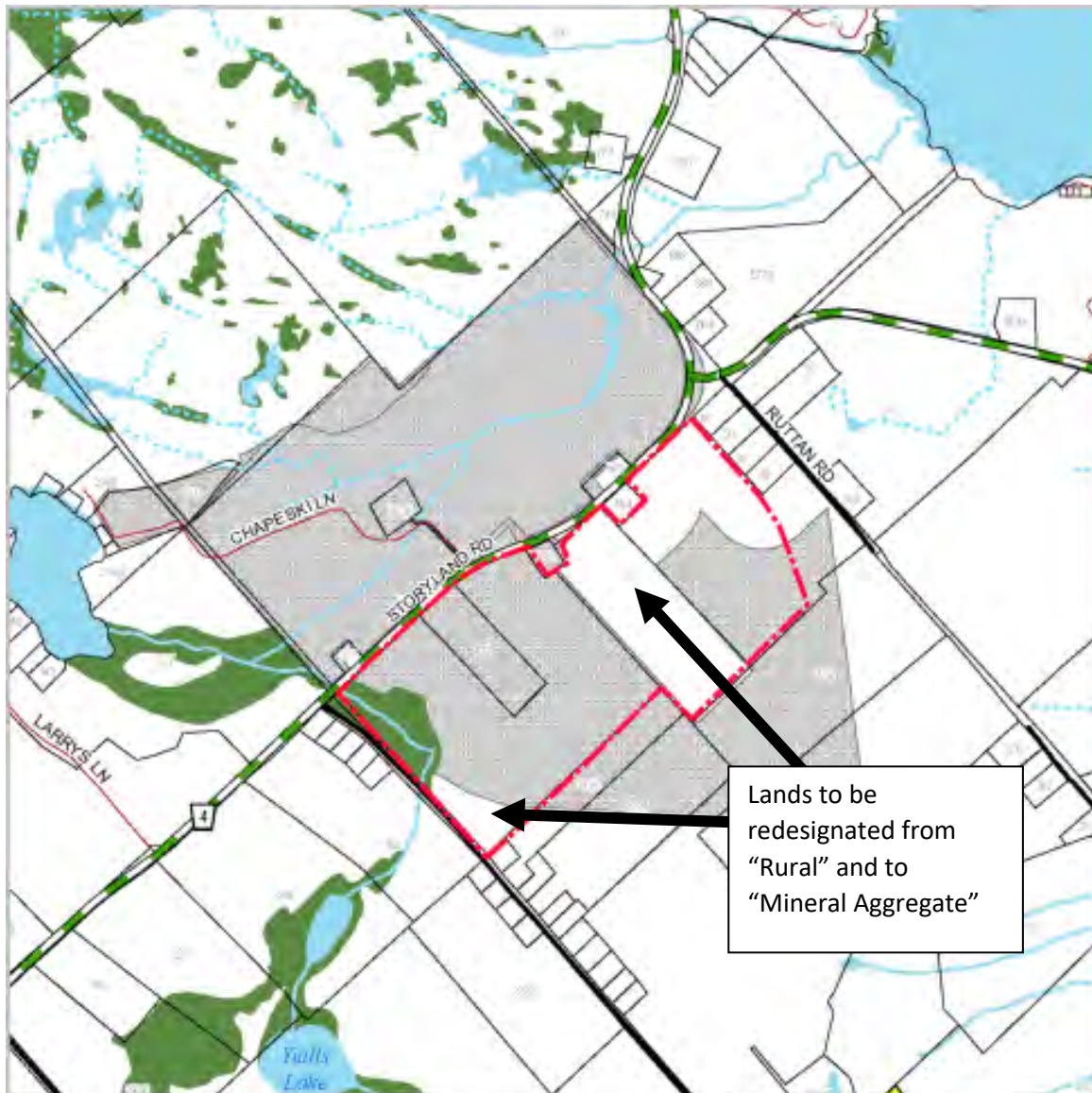


Figure
County of Renfrew
Official Plan
Schedule "A"
Township of Horton
Enlargement

R.W. Tomlinson Limited
Storyland Property
Storyland Road
Horton Township
County of Renfrew

LEGEND

- Subject Lands
- County Road
- Municipal Maintained
- Seasonal Municipal Maintained
- Private Road
- Property Parcels
- Environmental Protection Area
- Rural
- Mineral Aggregate

Base Map Source:
County of Renfrew Official Plan Schedule "A" - Township of Horton
Enlargement (August 18, 2021)

DATE: October 2022

SCALE: 1:15,000

FILE: 0137W

DRAWN: DCS



MHBC PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

200-540 MIDLANDS CENTRE DR. BUCHHEIM, ON. M2B 3P7
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APPENDIX B

Township of Horton Draft Zoning By-law Amendment

**THE CORPORATION OF THE
TOWNSHIP OF HORTON**

BY-LAW NUMBER 202X-XX

A By-law to amend By-law Number 2010-14 of the Corporation of the Township of Horton, as amended.

PURSUANT TO SECTION 34 OF THE PLANNING ACT, R.S.O., 1990, c.P. 13, THE TOWNSHIP OF HORTON HEREBY ENACTS AS FOLLOWS:

1.

THAT By-law Number 2010-14, as amended, be and the same is hereby further amended as follows:
- (a)

Schedule "A" is amended by rezoning lands described as Part of lot 20, Concession 6, geographic Township of Horton, from Rural (RU, RU-E9), and Extractive Industrial Reserve (EMR) to Extractive Industrial – Exception (EM-XX) as shown on the Schedule "A" attached hereto.
2.

THAT save as aforesaid all other provisions of By-law 2010-14, as amended, shall be complied with, EXCEPT as amended below:
- (a)

13.2.(b) Yards (minimum):

	Abutting Industrial Zone	Abutting Other Zone
i) Front Yard Depth	22 metres	30 metres
ii) Interior Side Yard Width	15 metres	15 metres
iii) Exterior Side Yard Width	15 metres	15 metres
iv) Rear Yard Depth	15 metres	15 metres
3.

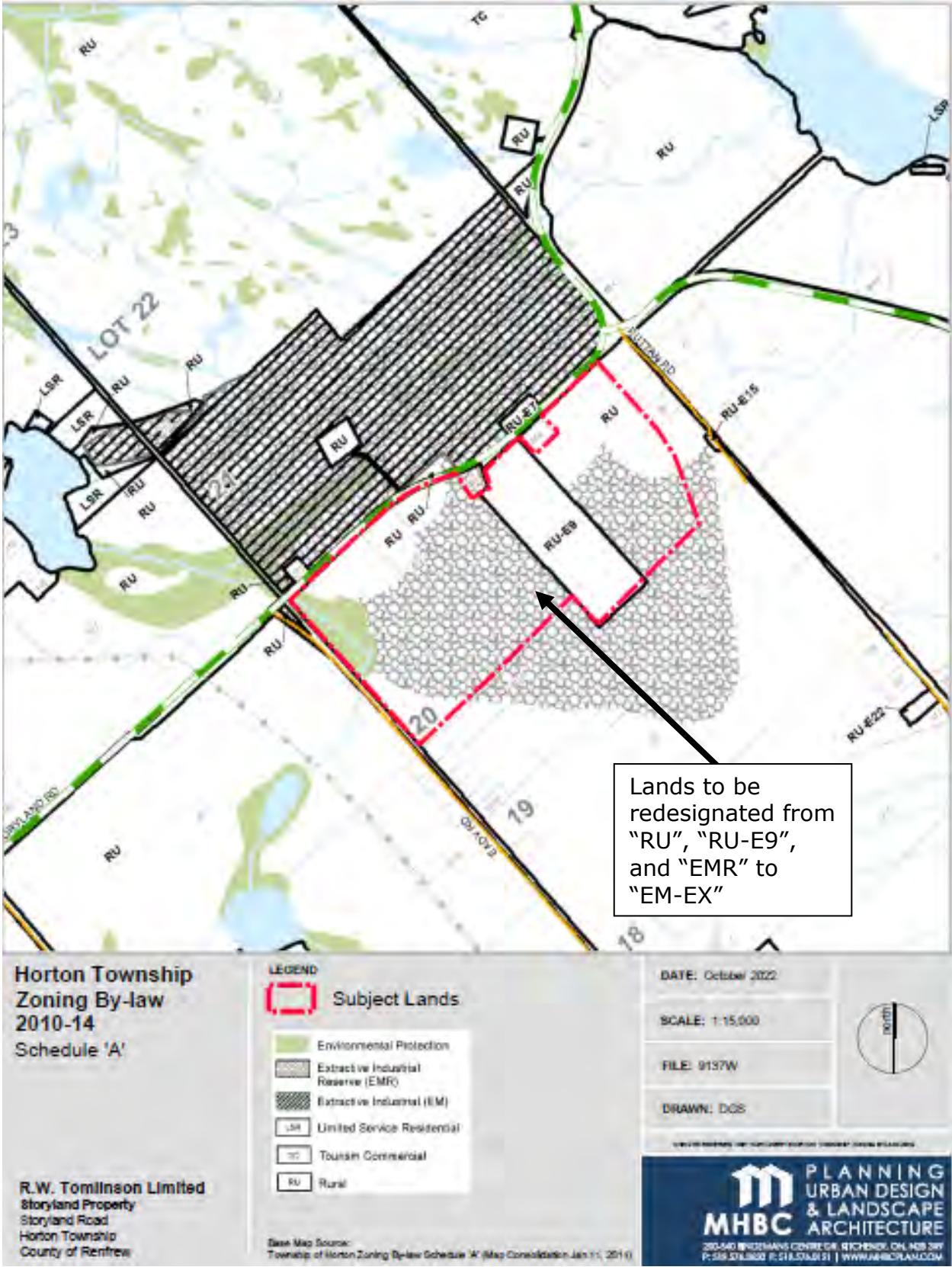
This by-law shall come into force and take effect on the day of final passing thereof.

This By-law given its FIRST and SECOND reading this Xth day of X, 202X. This

By-law read a THIRD time and finally passed this Xth day of X, 202X.

THE CORPORATION OF THE
TOWNSHIP OF HORTON

BY-LAW NUMBER 202X-XX
SCHEDULE "A"



APPENDIX C

Curriculum Vitae



CURRICULUM VITAE

Neal DeRuyter, BES, MCIP, RPP

EDUCATION

2008
Bachelor of Environmental Studies
Honours Planning (Co-op)
University of Waterloo

Neal DeRuyter, a Partner with MHBC, joined the firm in 2009 after graduating from the University of Waterloo in the Honours Planning Co-op program. Mr. DeRuyter has worked as a Planner in the private and public sectors with experience in aggregate resource, development and municipal planning.

Mr. DeRuyter has processed and managed several development applications including zoning by-law amendments, official plan amendments, and licence and site plan applications under the Aggregate Resources Act. He is certified by the Ministry of Natural Resources & Forestry to prepare site plans under the Aggregate Resources Act. He is a Registered Professional Planner and is a member of the Canadian Institute of Planners. He has provided expert evidence before the Ontario Municipal Board and Local Planning Appeal Tribunal.

He has participated and authored several research studies and articles related to aggregate resource management. Mr. DeRuyter has presented on several occasions for various events at the School of Planning at the University of Waterloo. Mr. DeRuyter is a member of the Pragma Council at the University of Waterloo.

PROFESSIONAL HISTORY

2017- Present	Partner MacNaughton Hermsen Britton Clarkson Planning Limited
2013- 2017	Associate, MacNaughton Hermsen Britton Clarkson Planning Limited
2009- 2013	Planner, MacNaughton Hermsen Britton Clarkson Planning Limited

PROFESSIONAL ASSOCIATIONS

Full Member, Ontario Professional Planners Institute
Full Member, Canadian Institute of Planners

CONTACT

540 Bingemans Centre Drive,
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F 519 576 0121
nderuyter@mhbcplan.com
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CURRICULUM **VITAE**

Neal DeRuyter, BES, MCIP, RPP

PROFESSIONAL SERVICE

- 2014-Present Member, University of Waterloo PRAGMA Council
- 2012-Present Member, Ontario Expropriation Association
- 2015-Present Member, Eastern Ontario Committee, Ontario Stone, Sand & Gravel Association

PUBLICATIONS

- 'Future Aggregate Availability and Alternatives Analysis, State of the Aggregate Resource in Ontario Study, 2009' (MNR)
- 'The Future of Ontario's Close to Market Aggregate Supply: The 2015 Provincial Plan Review' (OSSGA, 2015)
- Agricultural Impact Assessment and Rehabilitation Plan Guidelines for Aggregate Extraction, 2016 (OMAFRA)

SELECTED PROJECT EXPERIENCE

- Research, preparation and coordination of reports / applications under the Planning Act, Niagara Escarpment Planning and Development Act and Aggregate Resources Act.
- Project management services for development applications.
- Conduct notification and consultation processes under the Aggregate Resources Act.
- Due diligence and property overview reports for prospective aggregate sites.
- Aggregate Resources Act site plan amendments.
- Planning assessment for commercial, residential, agricultural and industrial developments.

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nderuyter@mhbcplan.com
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CURRICULUM **VITAE**

Neal DeRuyter, BES, MCIP, RPP

- Planning assessment for proposed urban use requests in Niagara Escarpment Plan through 2015-2017 Review.
- Research and preparation of reports / evidence for hearings before the Ontario Municipal Board / Local Planning Appeal Tribunal.
- Planning research and assessment for expropriation matters on behalf of public and private sector clients.

SELECTED PROJECT EXAMPLES

- AAROC Aggregates Bardoel Pit, Township of Southwest Oxford
- Badger Daylighting Pits, Township of Puslinch and City of Ottawa
- Bell Sand Farms Grose Pit Extension, Perth County
- Brock University, Niagara Escarpment Plan Lands, City of St. Catharines
- CBM Ayr Pit Site Plan Amendment, Township of North Dumfries
- CBM Bromberg Pit, Township of North Dumfries
- CBM Dorchester Pit, Municipality of Thames Centre
- CBM Eramosa Pit Extension, Township of Centre Wellington
- CBM Lake Pit, Township of Puslinch
- CBM Lanci Pit Expansion, Township of Puslinch
- Caledon Sand & Gravel Site Plan and Licence Amendments, Town of Caledon
- Capital Paving Shantz Station Pit, Township of Woolwich
- City of Kingston, Barriefield Affordable Housing Feasibility Study
- Gallo Contracting Industrial Use, Township of Puslinch
- Graham Brothers Caledon Pit Site Plan Amendment and NEP Amendment, Town of Caledon
- Halton Crushed Stone Erin Pit Extension, Town of Erin
- James Dick Construction Ltd. Adjala Pit Extension, Township of Adjala-Tosorontio
- James Dick Construction Ltd. Erin Pit Extension, Town of Caledon
- James Dick Construction Ltd. Gamebridge Quarry Site Plan Amendment, Township of Ramara
- James Dick Construction Ltd. Reid Road Quarry, Town of Milton
- Kaneff Properties, Royal Niagara Golf Club, City of St. Catharines
- Kieswetter Excavating Heidelberg Pit Site Plan Amendment, Township of Wilmot

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CURRICULUM **VITAE**

Neal DeRuyter, BES, MCIP, RPP

- KPM Brantford Plant Expansion, Brant County
- Lillycrop Highway 6 Expropriation, Township of Puslinch
- Limehouse Clay Products Ltd. Site Plan Amendment, Town of Halton Hills
- Ministry of Transportation, Highway 410 Expropriation, Town of Caledon
- Ontario Stone, Sand & Gravel Association, Municipal Official Plan Reviews in Ontario
- Ontario Trap Rock Quarry, Town of Bruce Mines
- Queenston Quarry Reclamation Company Redevelopment, Town of Niagara-on-the-Lake
- Ramada Beacon Hotel, Town of Lincoln
- R.W. Tomlinson Ltd. Brechin Quarry, City of Kawartha Lakes
- R.W. Tomlinson Ltd. Brickyards Quarry, City of Ottawa
- R.W. Tomlinson Ltd. Moodie Quarry Expansion, City of Ottawa
- R.W. Tomlinson Ltd. Moore Quarry, City of Ottawa
- R.W. Tomlinson Ltd. Napanee Asphalt Plant, Town of Greater Napanee
- R.W. Tomlinson Ltd. Reids Mills Pit, City of Ottawa
- R.W. Tomlinson Ltd. Rideau 1 Quarry Extension, City of Ottawa
- R.W. Tomlinson Ltd. Stittsville Quarry, City of Ottawa
- R.W. Tomlinson Ltd. Storyland Pit, Renfrew County
- R.W. Tomlinson Ltd. Ready-Mix Site Plan Approval, City of Ottawa
- Thomas Cavanagh Construction Almonte Quarry Extension, City of Ottawa
- Thomas Cavanagh Construction Arnott Pit, Lanark County
- Thomas Cavanagh Construction Highland Line Pit, Lanark County
- Township of Guelph-Eramosa, Review of Tri-City Spencer Pit
- Township of West Lincoln, Preliminary Bedrock Resource Assessment in Smithville
- Walker Aggregates Inc. Amherstburg Quarry and McGregor Quarry, Town of Amherstburg

PRESENTATIONS

- "Planning as a Profession" – Faculty of Environment Open House at the University of Waterloo, March 2013
- "Rehabilitation of Licensed Pits and Quarries" – Canadian Association of Certified Planning Technicians Professional Development Conference, October 21, 2011
- Professional Practice, Public and Private Administration (PLAN 403), University of Waterloo, January 2010

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CURRICULUM **VITAE**

Neal DeRuyter, BES, MCIP, RPP

ARTICLES

- "Planning for a sustainable community" – Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 1, Issue 2, 2011
- "The closer the better" – Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 2, Issue 2, 2012
- "Diminishing supply" - Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 3, Issue 1, 2013
- "Shipping aggregate from further afield" – Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 3, Issue 2, 2013
- "The feasibility of alternative transportation options" – Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 4, Issue 1, 2014
- "Keeping residents safe and dry" – Avenues Magazine (Ontario Stone, Sand & Gravel Association), Volume 4, Issue 2, 2014

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EDUCATION

2015 - 2019
Bachelor of Arts, Honours
Princeton University

2020 - Present
Masters of Science (Planning)
University of Guelph

CURRICULUMVITAE

Dawson McKenzie, BA, MSc (Candidate)

Dawson McKenzie joined MHBC as a Planner in 2021. Prior to joining MHBC, Mr. McKenzie worked as a researcher at the University of Guelph and as a Research Associate in the private sector. Mr. McKenzie provides a range of planning services to municipal and private sector clients including land use planning advice, policy review, preparation of planning justification reports, as well as obtaining development approvals for a range of development applications

PROFESSIONAL ASSOCIATIONS

Student Member, Canadian Institute of Planners (CIP)
Student Member, Ontario Professional Planners Institute (OPPI)

PROFESSIONAL HISTORY

2021 - Present	Planner, MacNaughton Hermesen Britton Clarkson Planning Limited
2020 - 2021	Research Assistant, University of Guelph
2019 - 2021	Research Associate, Wilton Consulting Group

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